

CHURCHILL PARK UNITED WORSHIP CHURCH ANNOUNCEMENTS August 30, 2024



Sunday, September 1st

10:30am – Worship at Westminster. Visiting and refreshments afterward.

The Livestream link for Sunday will be sent on Saturday.

September Calendar at a Glance

Sunday, Sept 1, 10:30am – Final Churcho'rama Service at Westminster

Tuesday, Sept 3, 6:30pm – Dawn at P2P Regional Executive Meeting

Wednesday, Sept 4, 1:00-2:30pm – Women's Spirituality Group reconvenes

Friday, Sept 6 – Garage Sale prep and set-up

Saturday, Sept 7, 9:00am-Noon – Garage Sale

Sunday, Sept 8 – 10:00am – Worship at Churchill Park United, Dawn leading

11:00am – Congregational Meeting

Noon – Pack up remaining Garage Sale Items

Sunday, Sept 15, 10:00am – Worship, Dawn leading

Afternoon – We are All Treaty People Event (at the Forks)

Tuesday, Sept 17 – Dawn supervises at McClure United

Wednesday, Sept 18 – LT Meeting (N. Office)

Wednesday, Sept 18, 1:00-2:30pm – Women's Spirituality Group

Sunday, Sept 15, 10:00am – Worship, Dawn leading

Sunday, Sept 22, 10:00am – Worship, Dawn leading

Friday, Sept 27, 1:00-2:30pm – Reconciliation Book Club

Sunday, Sept 29, 10:00am – Worship, Dawn leading



CPUC Garage Sale: September 6,7,8

We **urgently seek donations** for the Fall Garage Sale. Please bring your gently-used treasures. No clothes or large furniture, please. Contact Wayne or Dawn in advance to ensure the church is open for delivery.

Fri, Sept 6: Unpack, set up and price items.

Sat, Sept 7: Work at sale.

Sun, Sept 8: Pack up remaining items (Noon)

To volunteer, call Don Young at (204) 489-0149 or email: donaldy@gmail.com

NOTICE: Congregational Meeting – 11:00am, Sunday, Sept 8

A congregational meeting will be held after worship on Sunday, Sept 8 in the Church Lounge. On Wed, August 28, the Leadership Team reviewed and discussed the recommendation in the Ad Hoc document (see pages 2 & 3 – at the end of these e-announcements). They support the recommendation and therefore submit this motion for the Sept 8 Congregational Meeting:

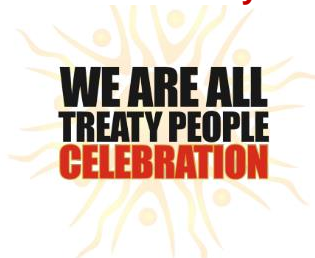
Moved by _____, seconded by _____, that CPUC ask the Ad Hoc Committee to continue their work toward transforming the building and property at 525 Beresford into a Community Hub with a Child Care Centre as the largest anchor tenant, and with continued space for the congregation, and for other community users, as possible.

NEW Study Group

Life as Participation: The Themes of Paul

Using writings from the Franciscan, Richard Rohr, Dawn will guide a 4-12 week study of Paul (the Apostle) and the writings attributed to him. As one of the most influential men in the Western world, we will explore why Paul still matters today. Times, dates and number of classes to be determined by those who are interested. Talk to Dawn if you are interested.

We Are Treaty People Celebration



Sunday, Sept. 15, 1:00-4:00pm

The Forks National Historic Site, Winnipeg

Performances by Fontine, Duncan Mercredi, Scott Nolan and Island

Breeze Manitoba Pacific Islands Dance

Free food, crafts and family activities.

For more information: mcc.org/wearealltreatypeople

Ad Hoc Committee Report and Recommendation to Churchill Park United August 30, 2024

The summer of 2024 was a busy summer of learning and working. Below is a summary of our work and findings, and a recommendation.

- 1) We've learned that pure "community hub" models are extremely challenging to maintain financially, in existing buildings, without stable "anchor tenants" to generate steady revenue.
- 2) We've learned about the need for "economies of scale." In other words, to be viable, any anchor tenants must be "big enough" to generate a certain income, especially given the costs of the building and/or renovation needed for any anchor option.
- 3) With the help and expertise of 546 Architecture (free to us through a grant), we explored housing as an option for the property (imagining housing as a financially stable anchor tenant). Many funding options currently exist for housing (lower income, mixed income and senior); housing is also a key preoccupation with all levels of government. After several meetings, we decided not to pursue housing further. Reasons include the need for major rezoning, the potential need to tear down and rebuild on the site, parking and sewer capacity and other considerations. (Additional details can be provided if desired.).
- 4) We began to explore childcare as an option for an anchor tenant. We met with the South Osborne Child Care Coalition (SOCCC), a group seeking space for a new (or satellite) childcare centre in SO. We established a connection with Mike Moroz (MLA) and others, and we've expanded our network to include a provincial childcare organization. If we pursue

childcare, money and help are available from numerous sources. Also, a feasibility study was done by SOCCC, revealing the extreme need for daycare in South Osborne and elsewhere.

5) We want to deepen our exploration of childcare as the primary tenant at 525 Beresford. Preliminary estimates show that a childcare centre occupying 65-70% of the building (which may include the sanctuary), would generate enough funds to fulfill their financial obligations (rent and other monthly expenses, loans, staff, etc.) Other building income would derive from community usage, including space rentals, Commercial Kitchen rentals and so on. We imagine the congregation using the building without cost.

We recommend:

that CPUC pursue the option of becoming a Community Hub with a Child Care Centre as its anchor tenant, with continued space for the congregation and with other community uses.

Notes:

- a) To be viable, childcare needs to be the majority user of the building's space. Exact percentages are not known, but childcare would need to occupy 65-70% of the building.
- b) The SOCCC is not able to purchase the building or land.
- c) We are aware that ownership is a critical piece of the discussion and will require considerable thought. Ad Hoc is beginning to discuss various ownership models.
- d) To date, the Ad Hoc Committee has not spent any money. If our recommendation is approved, deeper research will be initiated to flesh out more concrete plans.

(end of Ad Hoc document)

CHURCHILL PARK UNITED CHURCH DIRECTORY

525 Beresford Ave. Winnipeg, MB R3L 1J4 Telephone 452-8561

Office Administrator: Cindy Kraus Email: [office\(at\)churchillparkunited.ca](mailto:office(at)churchillparkunited.ca)

Minister: Rev. Dawn Rolke (204-272-3299) Email: [minister\(at\)churchillparkunited.ca](mailto:minister(at)churchillparkunited.ca)

Music Director – Arlene Baschak [arlene.baschak\(at\)gmail.com](mailto:arlene.baschak(at)gmail.com)

Property Manager – Wayne Arklie (cell): 431-335-4495

Congregational website: www.churchillparkunited.ca

Facebook: www.facebook.com/churchillparkunited